



Home Inspection Report



640 Dickinson Court, Discovery Bay

Ordered by: Sylvia Sotomayor
640 Dickinson Court
Discovery Bay, CA 94505

Inspected by:

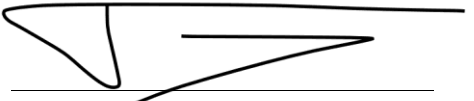

Tomas Carmona
September 20, 2023

Table of Contents

Report Overview	3
Structure	8
Roofing	9
Exterior	10
Electrical	12
Heating System	14
Cooling/Heat Pump System	15
Insulation/Ventilation	16
Plumbing	17
Interior	19
Photographs	21
Maintenance Advice	24

Report Overview

A GENERAL DESCRIPTION OF THE STRUCTURE

This is a two story single family dwelling. Based on the information provided, the structure was built in 2006. Ongoing maintenance is required and improvements to the systems of the home will be needed over time.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

! - IMMEDIATE RECOMMENDED IMPROVEMENTS

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported by photographs. If more than one photograph is available for a particular item, additional photographs can be found at the end of the report in the section entitled 'Photographs'. Please contact HomeGuard if you have any questions.

Roofing

1. There are individual loose, cracked, and chipped tiles along the ridge and/or in the field. The number of affected tiles is small and no exposure of the underlayment membrane was evident. Further evaluation by a licensed roofer is recommended. (See Photo 14) (See Photo 15)



Photo 14

2. Leaks were noted in the downspouts and/or gutters at the left side and various areas. During wet weather conditions these areas are more obvious and during dry weather conditions they are noted from the stains at the areas where the leaks have occurred. We recommend all leaks be repaired. (See Illustration 2D) (See Photo 1)



Photo 01

Exterior

3. Damaged, open or missing wall and/or ceiling finishes of attached garages should be repaired and sealed where they abut the interior of a house. This reduces the potential of toxic automobile gases entering the house and serves as a fire break. Current standards require all walls/ceilings common to the finished living spaces be covered with 5/8" fire resistant sheetrock double taped at all seams. (See Illustration 3A) (See Photo 6)

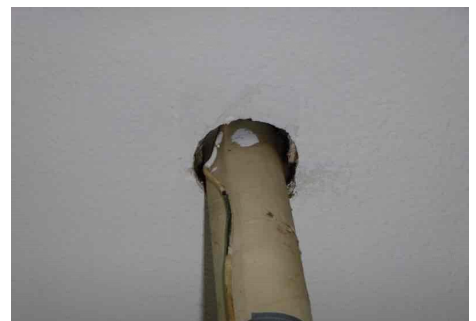


Photo 06

Exterior

4. The wood fencing at the left side of the property is in need of repairs. (See Photo 4)



Photo 04

5. Water damage was observed to the roof eaves/sheathing at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 2)



Photo 02

6. Water damage was observed to the rafters at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)



Photo 03

7. The pool and spa were not inspected; however, less than two drowning prevention safety features were noted. State law requires that during the course of our inspection we observe at least two of seven drowning prevention safety features outlined in the Health and Safety Code.

They are as follows:

- (1) An enclosure that isolates the swimming pool or spa from the private single-family home.
 - (2) A removable mesh fencing in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
 - (3) An approved safety pool cover.
 - (4) Exit alarms on the private single-family home's doors and windows that provide direct access to the swimming pool or spa.
 - (5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on all private single-family home's doors providing direct access to the swimming pool or spa.
 - (6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water.
 - (7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory.
 - (8) EXCEPTION: Hot tubs or spas with locking safety covers that comply with the American Society for Testing and Materials (ASTM F1346).
- The owner is advised to contact the appropriate trades to rectify this condition. (See Photo 16)

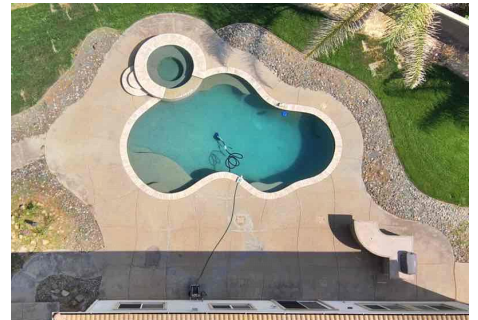


Photo 16

Plumbing

8. The water heater tank has been strapped in an improper manner and/or with improper material. We recommend the restraint be improved as per state codes. Specifically California state code is as follows.
1. All water heaters gas or electric must be strapped.
 2. Up to 52 gallons two straps are required, one in upper one-third and one in the lower one-third of the fixture. 52 gallons and above require three, one in upper one-third, one in middle and one in lower one-third.
 3. Straps may consist of either metal bands/tape at least 24 gauge or half-inch diameter metal conduit.
 4. Straps must wrap around the body of the water heater and any gaps between the wall and tank should be blocked to prevent movement.
 5. Straps should be secured to adjacent wall or stud and from opposing directions
 6. Straps should be secured to the wall or studs using 1/4" diameter by 3" long lag bolts with washers. (See Illustration 8N) (See Photo 5)



Photo 05

Interior

9. Cracked, deteriorated and/or missing shower enclosure caulk in the master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. (See Photo 10)
10. The base and/or side of the kitchen cabinet sink shelf is water damaged. We recommend the services of a licensed structural pest control operator for investigation of this condition. (See Photo 9)
11. The ceiling at the dining room shows evidence of stains. It is recommended that the source of these stains be identified and corrected and the surface be refinished. (See Photo 8)



Photo 10



Photo 09



Photo 08

Interior

12. The base and/or side of the downstairs hall bathroom cabinet sink shelf is delaminated/deteriorated. We recommend the advice and services of a licensed pest control operator for investigation and possible repair of this condition. (See Photo 7)



Photo 07

13. California law requires that all homes have a State Fire Marshall approved Carbon Monoxide Detector be installed outside of the sleeping areas in the hallway and on each level of the home including basements. At the time of this inspection the Carbon Monoxide Detectors could not be located. We recommend consulting with the owner to see if the Carbon Monoxide Detectors exist and if not they should be installed in all required locations. (See Photo 11)



Photo 11

14. Evidence of vermin activity was observed within the attic. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 13)



Photo 13

The Scope of the Inspection

All components designated for inspection in the ASHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: The inspector is NOT required to determine whether items, materials, conditions or components are subject to recall, controversy, litigation, product liability, or other adverse claims or conditions.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

PLEASE NOTE: Work performed by others will be reinspected, upon request, for an additional fee for each trip out to the property.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

BINDING ARBITRATION PROVISION

Any controversy or claim arising out of or relating to the inspection performed by HomeGuard Incorporated shall be settled by final and binding arbitration filed by the aggrieved party with and administered by the American Arbitration Association (hereafter referred to as "AAA") in accordance with its Construction Arbitration Rules in effect at the time the claim is filed. The Rules, information and forms of the AAA may be obtained and all claims shall be filed at any office of the AAA or at Corporate Headquarters, 335 Madison Avenue, Floor 10, New York, New York 10017-4605. Telephone: 212-716-5800, Fax: 212-716-5905, Website: <http://www.adr.org/>. The arbitration of all disputes shall be decided by a neutral arbitrator, and judgment on the award rendered by the arbitrator may be entered in any court having competent jurisdiction thereof. Any such arbitration will be conducted in the city nearest to the property that was inspected by HomeGuard Incorporated having an AAA regional office. Each party shall bear its own costs and expenses and an equal share of the administrative and arbitrators' fees of arbitration. This arbitration Agreement is made pursuant to a transaction involving interstate commerce, and shall be governed by the Federal Arbitration Act, 9 U.S.C. Sections 1-16. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT OR OPPORTUNITY TO LITIGATE THROUGH A COURT AND TO HAVE A JUDGE OR JURY DECIDE THEIR CASE, BUT THEY CHOOSE TO HAVE ANY AND ALL DISPUTES DECIDED THROUGH ARBITRATION. BY SIGNING THIS AGREEMENT, THE PARTIES ARE GIVING UP ANY RIGHT THEY MIGHT HAVE TO SUE EACH OTHER.

Structure

ITEM DESCRIPTIONS:

Attic (Access)	• Location: Hallway • Attic Method Of Inspection: From the Access
Roof Structure	• Truss • Plywood or Orientated Strand Board
Ceiling Structure	• Truss
Wall Structure	• Wood Frame
Floor Structure	• Concrete Slab
Crawlspace/Basement (Access)	• None (Slab)
Foundation	• Slab on grade

COMMENTS:

Due to the design of this building foundation anchor bolts were concealed from view.

RECOMMENDATIONS/OBSERVATIONS - 'I' indicates an immediate improvement recommendation item.

1. Purlins are boards which run perpendicular to the rafters/trusses, which provide mid span support. As viewed from the attic, one or more purlins or support were noted to be loose. Repairs of supported purlins or supports should be considered where needed to stiffen the roof. If further information is desired a licensed contractor should be contacted. (See Photo 12)
2. The garage floor slab has typical cracks. This is usually the result of shrinkage and/or settling of the slab. No further recommendations are given.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the structural integrity of a building is beyond the scope of a typical inspection. A certified professional engineer is recommended where there are structural concerns about the building.

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components was inspected.
- Furniture and/or storage restricted access to some of the structural components.
- The attic was viewed from the attic access hatch only due to insulation covering the wood members. If further inspection of this area is desired catwalks or planks will need to be installed over the exposed ceiling joists. When access has been provided we will return and further inspect this area.

Roofing

ITEM DESCRIPTIONS:

Roof	• Concrete Tile • Method of inspection: From the UAV
Chimney	• None • Method of inspection: From the UAV
Gutters and Downspouts	• Metal • Installation Of Gutters/Downspouts: Full • Downspouts Discharge Location: Below Grade.

COMMENTS:

We recommend reviewing a roof inspection report performed by a licensed roof inspector on this structure.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. There are individual loose, cracked, and chipped tiles along the ridge and/or in the field. The number of affected tiles is small and no exposure of the underlayment membrane was evident. Further evaluation by a licensed roofer is recommended. (See Photo 14) (See Photo 15)
- ! 2. Leaks were noted in the downspouts and/or gutters at the left side and various areas. During wet weather conditions these areas are more obvious and during dry weather conditions they are noted from the stains at the areas where the leaks have occurred. We recommend all leaks be repaired. (See Illustration 2D) (See Photo 1)
- 3. Debris was noted on the roof covering. We recommend removing all debris to avoid creating water traps and to assist in the shedding of water from the roof.

MAINTENANCE ITEMS & GENERAL INFORMATION

- 4. Underground drainage has been provided for the gutter downspout system. Because we are unable to view the underground drainage system, we suggest verification by the seller that adequate installation has been performed and proper drainage has been provided.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Roofing life expectancies can vary depending on several factors. Any estimates on remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc.

- We did not go on the surface of the roof. The chimney was inspected from a unmanned aerial vehicle (UAV). Our comments are based only upon a limited visual inspection.
- We did not go on the surface of the roof. The roof was inspected from a unmanned aerial vehicle (UAV). Our comments are based only upon a limited visual inspection.

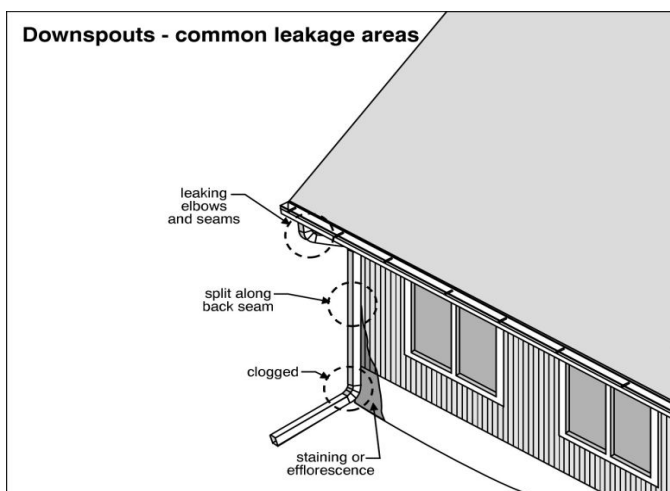


Illustration 2D

Exterior

ITEM DESCRIPTIONS:

Lot Topography	• Level grade
Driveway	• Concrete
Walkway & Sidewalks	• Concrete
Retaining Walls/Abutments	• None
Fencing/Gates	• Wood • Concrete Block
Porch/Deck, Patio Covers	• Concrete
Stairs/Railings/Landings	• Wood
Exterior Walls	• Stucco
Fascia, Eaves and Rafters	• Wood • Open Rafters
Windows	• Vinyl
Doors	• Wood • Metal • Sliding Glass
Garage/Carport	• Attached
Garage Door	• Metal (x2) • Automatic Opener Installed (x2)
The Swimming Pool Safety Act	• See Below

COMMENTS:

The auto reverse mechanisms on both overhead garage doors responded properly to testing. This is an important safety feature that should be tested regularly. Refer to the owner's manual or contact the manufacturer for more information. There is a serious risk of injury, particularly to children, if this feature is not working properly. Information on garage door openers is available from the Consumer Product Safety Commission at www.cpsc.gov.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Damaged, open or missing wall and/or ceiling finishes of attached garages should be repaired and sealed where they abut the interior of a house. This reduces the potential of toxic automobile gases entering the house and serves as a fire break. Current standards require all walls/ceilings common to the finished living spaces be covered with 5/8" fire resistant sheetrock double taped at all seams. (See Illustration 3A) (See Photo 6)
- ! 2. The wood fencing at the left side of the property is in need of repairs. (See Photo 4)
- ! 3. Water damage was observed to the roof eaves/sheathing at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 2)
- ! 4. Water damage was observed to the rafters at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)
5. The concrete patio shows evidence of minor cracking. These cracks can be sealed for cosmetic considerations.
6. Vegetation growing on or within 6" of exterior walls should be kept trimmed away from siding, window trims and the eaves.
7. The exterior door at the front rubs on the frame/jamb. We recommend all rubbing doors be trimmed, planned or adjusted to improve operation.

- ! 8. The pool and spa were not inspected; however, less than two drowning prevention safety features were noted. State law requires that during the course of our inspection we observe at least two of seven drowning prevention safety features outlined in the Health and Safety Code.

They are as follows:

- (1) An enclosure that isolates the swimming pool or spa from the private single-family home.
- (2) A removable mesh fencing in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
- (3) An approved safety pool cover.
- (4) Exit alarms on the private single-family home's doors and windows that provide direct access to the swimming pool or spa.
- (5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on all private single-family home's doors providing direct access to the swimming pool or spa.
- (6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water.
- (7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory.
- (8) EXCEPTION: Hot tubs or spas with locking safety covers that comply with the American Society for Testing and Materials (ASTM F1346).

The owner is advised to contact the appropriate trades to rectify this condition. (See Photo 16)

MAINTENANCE ITEMS & GENERAL INFORMATION

9. The interior of the garage appears to have been recently painted. Water stains and/or cracks may not be visible at the time of our inspection. If, at a later date, water stains and/or cracks are discovered, we recommend further inspection by the appropriate trade.

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- A representative sample of exterior components was inspected.
- The inspection does not include an assessment of geological conditions, site stability and property surface and/or underground drainage runoff.
- Interior finishes (floors, walls, ceilings) and/or insulation restricted the inspection of the garage.
- The detached barbecue was not inspected and is excluded from this report.
- The pool/spa, related equipment, ancillary wiring and plumbing services were not inspected and are excluded from this report.
- The detached structures/storage closets were not inspected and are excluded from this report.

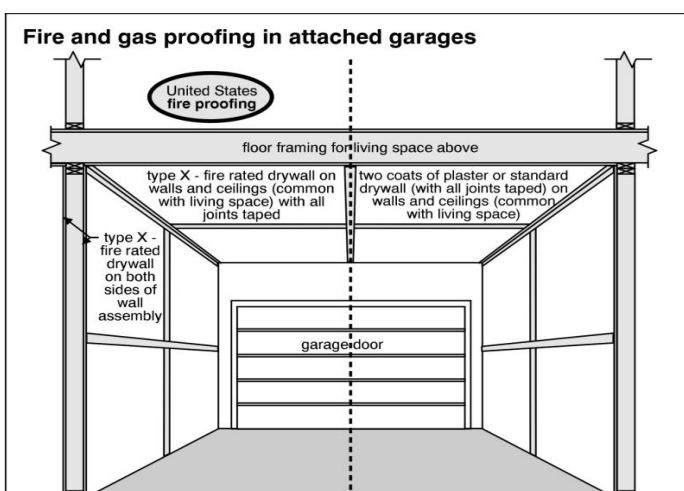


Illustration 3A

Electrical

ITEM DESCRIPTIONS:

Service	• 120/240 volt main service
Service Entrance	• Underground Service Wires
Service Ground	• Copper Ground Wire
Main Disconnect	• Breakers • Multiple Disconnects
Main Distribution Panel	• Breakers • Location: Exterior Side • Panel Rating (Amps): 200
Branch/Auxiliary Panel	• Breakers • Location: Garage • Panel Rating (Amps): 200
Distribution Wiring	• Copper Wire • Aluminum Wire
Outlets, Switches & Lights	• Grounded
Ground Fault Circuit Interrupters	• Exterior • Bathroom • Garage • Kitchen • Laundry

COMMENTS:

The 3-prong outlets that were tested were appropriately grounded.

Dedicated 240 volt circuits have been provided for all 240 volt appliances within the home.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The electrical panel is configured with multiple disconnects. More than one breaker must be placed in the OFF position in order to disconnect all of the power for the property.
2. The electrical system lacks a main shutoff switch. Because there are Six or fewer disconnects in the service panel, a single main shutoff is not required. If the system is expanded or remodeling is performed, a main disconnect would be needed.
3. The water heater cold and hot water lines do not appear to be bonded to the gas lines. The local building department may presently require that the lines be bonded. We recommend consulting the local building authority regarding this condition.
4. The right fan at the master bedroom rubs and needs to be adjusted. We recommend this condition be corrected for full use of this area.

MAINTENANCE ITEMS & GENERAL INFORMATION

5. The service ground wire runs into the enclosed wall, therefore it was inaccessible and determining its method of grounding connections to the structure was not noted at this time. This note is for general information only.
6. Aluminum wiring was noted for the 240 volt circuitry of the home. Aluminum wiring is typically used for 240 volt appliance circuits and no action is necessary.
7. Arc fault circuit breakers were noted in the main or branch electric circuit panel. Arc fault breakers help protect against fires caused by arcing wires and are designed to trip by sensing a short that causes a massive amount of electricity to pass through the circuit.

DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

8. Today's electrical standard now requires a device called an arc-fault circuit interrupter "AFCI". As defined in proposals for the 1999 NEC, an "AFCI" is a device that provides protection from effects of arc faults by recognizing characteristics unique to arcing, and then de-energizing the circuit upon detection of an arc fault. Its basic application is protection of 15 amp and 20 amp branch circuits in single and multi-family residential occupancies. These devices are now installed in the habitable bedrooms of new construction.

LIMITATIONS:

This is a visual inspection to the accessible areas only. The inspection does not include (if applicable) low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, central vacuum systems, exterior sprinkler systems, exterior landscape lighting or exterior motion sensor lights. Also smoke detectors out of reach were only visually inspected unless noted otherwise. We recommend these systems be checked by interested parties for proper operation when possible.

- Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.

- Electrical components concealed behind finished surfaces could not be inspected.
- According to "ASHI" standards only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage may have restricted access to some electrical components.
- Exterior light fixtures on motion or light sensors were not tested.
- One or more added recessed light fixtures appear to have been installed in the ceiling as noted from the attic. Some recessed light fixtures require a certain amount of clearance between the insulation and the metal fixtures, however due to inaccessibility, clearance issues or time limitations we were unable to fully evaluate every light fixture. For additional information we recommend further evaluation of the fixtures by a licensed electrical contractor.

Heating System

ITEM DESCRIPTIONS:

Primary Source Heat	• Gas
Heating System	• Forced Air • Manufacturer: Carrier • Location: Attic
Distribution/Ducting	• Ductwork

COMMENTS:

The furnace was turned on by normal controls and appeared to function.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The heating system air filters are dirty. We recommend they be serviced or replaced.

MAINTENANCE ITEMS & GENERAL INFORMATION

2. This home is heated with a mid efficiency forced air furnace. In this type of furnace, air is circulated by a blower motor through a heat exchanger, which is heated by the burner unit at the base. An induced draft motor is used to force the exhaust from the furnace to the exterior

LIMITATIONS:

This is a visual inspection to the accessible areas only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.

- As per ASHRAE standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.
- The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.
- Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.
- As per ASHRAE standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, the local utility company will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- Inspection of the heater and/or air conditioner thermostat is limited to operating the unit(s) on and off function only. Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.

Cooling/Heat Pump System

ITEM DESCRIPTIONS:

Primary Source A/C	• Electricity • 240 Volt Power Supply
Cooling System	• Air Cooled Central • Manufacturer: Carrier • Location: Exterior Side

COMMENTS:

A temperature drop of 16 degrees was measured between the air return and register. This suggests that the AC unit is operating within acceptable limits.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. Damaged insulation on air conditioner refrigerant lines should be repaired. This will help to increase the efficiency of the unit.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time.

Insulation/Ventilation

ITEM DESCRIPTIONS:

Attic/Roof Insulation	• Fiberglass • Depth (inches): 12-16
Exterior Walls Insulation	• Unknown
Crawlspace Insulation	• Not Applicable
Attic/Roof Ventilation	• Roof Vents • Fascia vents
Crawlspace Ventilation	• Not Applicable

COMMENTS:

During any planned re-roofing or renovation work overhead insulation and ventilation levels should be investigated and improved where necessary. Upgrading insulation levels in a home is considered an improvement rather than a necessary repair.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. Compressed or uneven insulation in various areas of the attic should be replaced or evened out to improve the insulating value in these areas.

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests were performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is beyond the scope of this inspection.
- Any estimates of insulation "R" values or depths are rough average values.

Plumbing

ITEM DESCRIPTIONS:

Main Water Valve	• Location: Exterior Front
Supply Piping	• Metallic Material • Plastic Material
Drain/Waste/Vent	• Plastic Material
Cleanout	• Location: Exterior Rear • Location: Exterior Side
Main Gas Valve	• Location: Exterior Side
Water Heaters	• Manufacturer: Rheem • Capacity: 75 Gallons • Approximate Age (years): 3 • Gas • Location: Garage
Seismic Gas Shut-off	• Not Present
Excess Flow Gas Shut-off	• Not Present

COMMENTS:

Due to the design of this unit/building, most of the supply piping was inaccessible for inspection. For additional information, we recommend a licensed plumbing contractor be consulted.

Due to the design of this unit/building, most of the drain lines were inaccessible for inspection. For additional information, we recommend a licensed plumbing contractor be consulted.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The water heater tank has been strapped in an improper manner and/or with improper material. We recommend the restraint be improved as per state codes. Specifically California state code is as follows.
 1. All water heaters gas or electric must be strapped.
 2. Up to 52 gallons two straps are required, one in upper one-third and one in the lower one-third of the fixture. 52 gallons and above require three, one in upper one-third, one in middle and one in lower one-third.
 3. Straps may consist of either metal bands/tape at least 24 gauge or half-inch diameter metal conduit.
 4. Straps must wrap around the body of the water heater and any gaps between the wall and tank should be blocked to prevent movement.
 5. Straps should be secured to adjacent wall or stud and from opposing directions
 6. Straps should be secured to the wall or studs using 1/4" diameter by 3" long lag bolts with washers. (See Illustration 8N) (See Photo 5)
2. The installation of a sediment trap at the water heater appliance gas line is recommended.
3. There is evidence of corrosion and rust, but no leakage on the exterior of the exposed and accessible metal supply piping and valve at the kitchen cabinet. This piping and valve should be monitored for leakage and repaired as necessary. Upgrading this piping, valve, and connections should also be considered.
4. There is a gap between the tub spout and wall at the downstairs hall bathroom which should be sealed to prevent moisture intrusion.
5. The toilet at the downstairs hall bathroom is loose and should be properly re-secured, tightened and caulked. (See Illustration 8J)

MAINTENANCE ITEMS & GENERAL INFORMATION

6. Polyethylene or PEX tubing has been installed within the homes water supply distribution system. PEX is a type of plastic tubing that has become increasingly common within residential new construction and renovations. It has been approved and adopted for use within the California Plumbing Code since 2009 and is considered a reliable and cheaper alternative to copper tubing. Certain brands of PEX have come under scrutiny and litigation over the past decade. It's beyond the scope of this inspection to determine what brand of material is in use or the long term quality of the product. Interested parties should consult a licensed plumbing contractor for further details regarding maintenance and warranties of this product.

DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

7. To reduce the risk of contamination of supply water, installation of anti-siphon devices on exterior hose bibs are recommended.

LIMITATIONS:

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

- Water and gas shut-off valves, including but not limited to seismic, excess flow shut-off valves and gas fireplace

valves where applicable, were not operated or tested. Identification of these devices is limited to the accessible areas only.

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, below the structure and beneath the yard) were not inspected.
- Water quantity and quality are not tested. The effect of lead content in solder and/or supply lines is beyond the scope of the inspection.
- Inspection of any water conditioning system (filters, purifiers, softeners, etc.) is beyond the scope of this inspection and are excluded from this report.
- Inspection of any lawn sprinkler system is beyond the scope of this inspection and are excluded from this report (unless noted otherwise).
- The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- HomeGuard Incorporated does not determine if any fixtures or toilets are water conserving.
- Inspection of the central vacuum system is beyond the scope of this inspection and is excluded from this report.

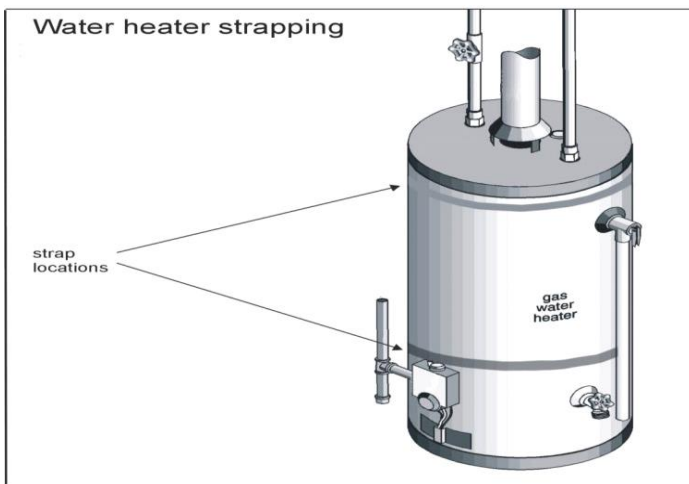


Illustration 8N (Please note this diagram refers to two strap installations)

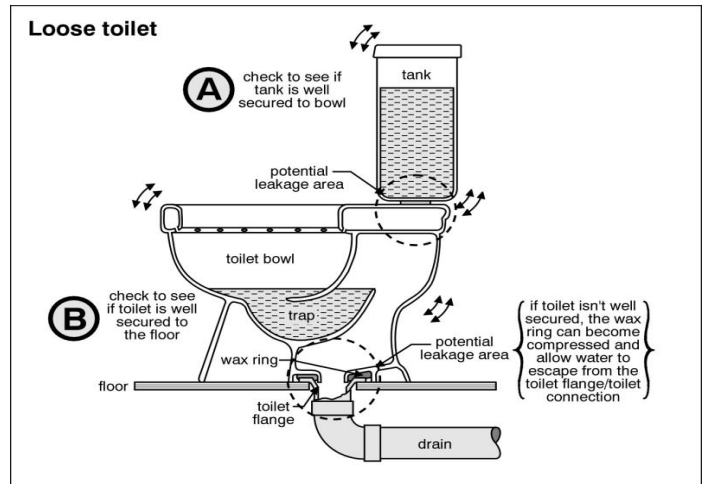


Illustration 8J

Interior

ITEM DESCRIPTIONS:

Kitchen Appliances Tested	• Built in Electric Ovens • Gas Cooktop • Microwave w/Exhaust Hood • Dishwasher • Waste Disposer
Wall Finishes	• Drywall/Plaster
Ceiling Finishes	• Drywall/Plaster
Floors	• Carpet • Tile/Stone • Vinyl • Laminate Flooring
Doors	• Hollow Core • Raised Panel • French • Sliding
Window Style and Glazing	• Double/Single Hung • Sliders • Fixed Pane • Double Pane
Stairs/Railings	• Present
Fireplace/Wood Stove	• Cosmetic Gas
Cabinets/Countertops	• Wood • Tile • Solid Surface
Laundry Facilities/Hookup	• 240 Volt Circuit for Dryer • 120 Volt Circuit for Washer • Gas Piping for Dryer • Hot and Cold Water Supply for Washer • Waste Standpipe for Washer • Dryer vent noted
Other Components Inspected	• Smoke Detector • Door Bell • Carbon Monoxide Detector

COMMENTS:

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item. INTERIOR

- ! 1. The ceiling at the dining room shows evidence of stains. It is recommended that the source of these stains be identified and corrected and the surface be refinished. (See Photo 8)
- ! 2. California law requires that all homes have a State Fire Marshall approved Carbon Monoxide Detector be installed outside of the sleeping areas in the hallway and on each level of the home including basements. At the time of this inspection the Carbon Monoxide Detectors could not be located. We recommend consulting with the owner to see if the Carbon Monoxide Detectors exist and if not they should be installed in all required locations. (See Photo 11)
- ! 3. Evidence of vermin activity was observed within the attic. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 13)
4. Cracked, deteriorated and/or missing caulk and grout at the laundry tile countertop and/or backsplash should be replaced. A flexible caulking material is recommended.
5. Various double pane windows were dirty at the time of our inspection, therefore, the condition of the windows was not fully verified. We recommend the windows be cleaned to verify their thermal seal.
6. The window at the downstairs hall bedroom exhibits conditions and/or symptoms that indicate a possible breached seal or failed thermal pane. This has or can result in condensation and/or moisture developing between the panes of glass that will effect the cosmetic appearance of the windows and their insulating performance. We recommend all insulated glass units be further evaluated by a licensed glazier and repaired or replaced as required.

KITCHEN

- ! 7. The base and/or side of the kitchen cabinet sink shelf is water damaged. We recommend the services of a licensed structural pest control operator for investigation of this condition. (See Photo 9)
8. The kitchen countertop or backsplash tile surface is cracked and/or chipped. This is a cosmetic consideration and repairs are optional.
9. Cracked, deteriorated and/or missing caulk at the kitchen sink, countertop, and backsplash should be replaced. A flexible caulking material is recommended rather than rigid cementitious grout.
10. The surface light under the microwave is inoperative. We recommend that the bulb be replaced and the operation verified.
11. The rack in the dishwasher is rusted. We recommend it be replaced.

BATHROOMS

- ! 12. Cracked, deteriorated and/or missing shower enclosure caulk in the master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. (See Photo 10)

- ! 13. The base and/or side of the downstairs hall bathroom cabinet sink shelf is delaminated/deteriorated. We recommend the advice and services of a licensed pest control operator for investigation and possible repair of this condition. (See Photo 7)
14. The seam for the floor at the base of the tub/shower at the master bathroom is lifted or open. We recommend that the floor be sealed to avoid water penetration.
15. The window and sill of the upstairs hall bathroom enclosure should be protected from moisture. Windows in bathtub/shower enclosures have a reputation for allowing leakage behind the walls, causing water damage. Damage caused by water seepage cannot be determined by this visual observation.
16. Cracked, deteriorated and/or missing grout and caulk at the master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. A flexible caulking material is recommended rather than rigid cementitious grout.
17. The shower enclosure wiper seal at the master bathroom is faulty, missing and/or improperly installed. We recommend it be repaired or replaced.
18. The left sink faucet aerator is splashing at the upstairs hall bathroom. We recommend it be repaired.

MAINTENANCE ITEMS & GENERAL INFORMATION

INTERIOR

19. The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture developing between the panes of glass. Due to the known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time.

KITCHEN

20. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, water heater, space heater or wood stove. Proper maintenance of these appliances is the best way to reduce the risk of carbon monoxide poisoning. For more information, consult the Consumer Product Safety Commission CPSC at www.cpsc.gov for further guidance.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the quality of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments are general, except where functional concerns exist. Due to texturing and painting of interior surfaces there is no possible way of determining point of origin of any gypsum (sheetrock) material without destructive testing. HomeGuard Incorporated does not perform any destructive testing. Smoke detectors and carbon monoxide detectors were not manually tested. The sensors of these units are not tested. Both smoke detectors and carbon monoxide detectors have a limited life span and should be replaced according to the manufactures instructions.

- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.
- No access was gained to the wall cavities of the home.
- The adequacy of the fireplace wall draw cannot be determined during a visual inspection.
- The operation of the dishwasher was limited to a filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwasher we recommend consultation with the owner or appropriate trades.
- The washing machine faucets were visually inspected however they were not tested.
- The above listed kitchen appliances were operated unless noted otherwise. These appliances were not inspected for installation according to manufacturer specifications and were not evaluated for performance, efficiency or adequacy during their operation. No refrigerators whether "built in" or portable are operated, inspected or tested.
- All appliances not "built in" to the structure such as washing machine, dryer, refrigerator and/or countertop microwaves were not inspected and are excluded from this report. No refrigerators whether "built in" or portable are operated, inspected or tested.
- Fireplace screens or doors were not inspected (unless otherwise noted) and are excluded from this report.
- The interior appears to have been recently painted. Water stains and/or cracks may not be visible at the time of our inspection. If, at a later date, water stains and/or cracks are discovered, we recommend further inspection by the appropriate trades.
- Testing of the oven cleaning function is beyond the scope of this inspection. For proper operation and testing of this function we recommend consultation with the existing homeowner.

Photographs

No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported with photographs. Please contact HomeGuard if you have any questions.



Photo 01



Photo 02



Photo 03



Photo 04



Photo 05

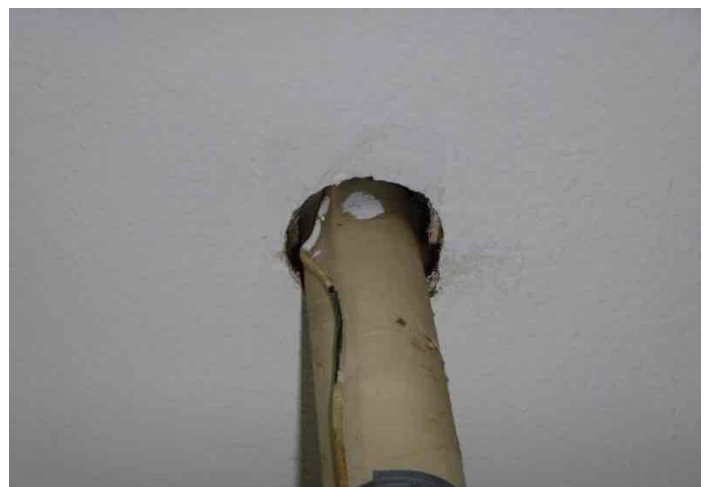


Photo 06



Photo 07



Photo 08



Photo 09



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16

Maintenance Advice

UPON TAKING OWNERSHIP

After taking ownership of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements.

- ☐ Change the locks on all exterior entrances, for improved security.
- ☐ Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Considerations could also be given to a security system.
- ☐ Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- ☐ Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
- ☐ Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- ☐ Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- ☐ Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- ☐ Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- ☐ Install rain caps and vermin screens on all chimney flues, as necessary.
- ☐ Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attend the home inspection, these items have been pointed out to you.

REGULAR MAINTENANCE

EVERY MONTH

- ☐ Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- ☐ Examine heating/cooling air filters and replace or clean as necessary.
- ☐ Inspect and clean humidifiers and electronic air cleaners.
- ☐ If the house has hot water heating, bleed radiator valves.
- ☐ Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.
- ☐ Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- ☐ Repair or replace leaking faucets or shower heads.
- ☐ Secure loose toilets, or repair flush mechanisms that become troublesome.

SPRING AND FALL

- ☐ Examine the roof for evidence of damage to roof covering, flashings and chimneys.
- ☐ Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- ☐ Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- ☐ Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- ☐ Survey the basement and/or crawl space walls for evidence of moisture seepage.
- ☐ Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- ☐ Ensure that the grade of the land around the house encourages water to flow away from the foundation.

- ☐ Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- ☐ Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood windows frames. Paint and repair window sills and frames as necessary.
- ☐ Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- ☐ Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- ☐ Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- ☐ Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- ☐ Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- ☐ Replace or clean exhaust hood filters.
- ☐ Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

ANNUALLY

- ☐ Replace smoke detector batteries.
- ☐ Have the heating, cooling and water heater systems cleaned and serviced.
- ☐ Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- ☐ Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- ☐ If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- ☐ If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventive treatments may be recommended in some cases.

PREVENTION IS THE BEST APPROACH

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes. Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!



Invoice Date: 9/20/2023

Invoice No: LIV1046590P

Invoice

Bill To:

Sylvia Sotomayor
640 Dickinson Court
Discovery Bay, CA 94505

Property Information:

Address: 640 Dickinson Court
Discovery Bay CA, 94505
Report No: 623155 TPRD
Escrow#:

Billing Information:

Inspection:	9/20/2023 Complete	\$965.00
-------------	--------------------	----------

Total Due:	\$965.00
------------	----------

DUE UPON RECEIPT

Please remit to 510 Madera Ave., San Jose, CA 95112

There is a \$25 fee for all returned checks